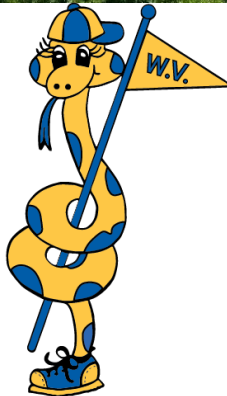


Property Assessment Report
Westwood View Elementary School
2511 West 50th Street, Westwood, KS 66205



Home of the Pythons

Table of Contents

1. Cover Sheet
2. A4LE (CEFPI) Evaluation Spreadsheets
3. Site Plan
 - a. Aims Data
4. Floor Plan
5. Roof Assessment
6. Building Summary Images
7. Building Summary Report
8. Estimated Renovation Costs
9. New 2 Section Elementary School Estimate
10. New 3 Section Elementary School Estimate

CEFPI Evaluation - Westwood View Elementary School

Date 12.1.2017

	Possible Points	Actual Points
1.00 THE SCHOOL SITE	100	53
2.00 STRUCTURE AND MECHNICAL FEATURES	200	120
3.00 PLANT MAINTAINABILITY	100	54
4.00 SCHOOL BUILDING SAFETY	200	162
5.00 ENVIRONMENT FOR EDUCATION	200	118
6.00 EDUCATIONAL ADEQUACY	200	116
Total		623

CEFPI Evaluation - Westwood View Elementary School

Date 12.1.2017

1.00 THE SCHOOL SITE

100 POINTS

		Possible Points	Actual Points
<u>LOCATION</u>			
1.1	Site is central to and easily accessible to the present and/or future population.	20	15
1.2	Location is removed from undesirable business, industry and traffic.	5	2
1.3	Site is large enough to meet educational needs as determined by the state and local district (10 acres + 1 acre/100 students).	25	5
1.4	Campus is large enough for future on-site expansion if needed.	10	5
1.5	Topography provides good drainage, but without steep inclines.	5	5
1.6	Site has adequate storm drainage system.	5	3
1.7	Site has stable, well-drained soil free of erosion and is well landscaped.	5	3
<u>SITE AND POTENTIAL</u>			
1.8	Site is suitable for special instruction needs, e.g. nature study, school gardens and restricted play areas.	5	3
1.9	Pedestrian services include adequate sidewalks with designated crosswalks, curb cuts and acceptable grades.	5	3
1.10	Sufficient on-site hard surface parking for faculty, staff and visitors is provided.	5	3
1.11	PE Fields are well located and removed from streets, drives and parking areas.	5	3
1.12	Outdoor play fields are well equipped for all age levels.	5	3
<u>TOTAL - THE SCHOOL SITE</u>		<u>100</u>	<u>53</u>

CEFPI Evaluation - Westwood View Elementary School

Date 12.1.2017

2.00 STRUCTURE AND MECHANICAL FEATURES

200 POINTS

		Possible Points	Actual Points
	<u>BUILDING STRUCTURE</u>		
2.01	Exterior walls are free of deterioration, with proper expansion joints.	10	8
2.02	Foundations are sound and stable.	10	10
2.03	Interior walls are free of deterioration.	5	4
2.04	Roofs are structurally sound, have adequate drainage and are weathertight.	15	7
2.05	Entrances and exits are located so as to permit efficient student traffic flow.	15	5
2.06	Building "envelope" meets energy use code requirements.	10	5
2.07	Well-maintained ceilings adequately retard sound.	5	3
2.08	Walls permit sufficient flexibility for a variety of class sizes.	10	5
2.09	Interior is free of friable asbestos and/or toxic materials.	10	5
	<u>MECHANICAL / ELECTRICAL</u>		
2.10	Electrical service is underground.	5	0
2.11	Reliable masterclock system sounds bells inside and outside of building.	5	4
2.12	Outside water supply is adequate for normal usage.	5	3
2.13	Building electrical system is adequate for the educational program..	15	6
2.14	Each teaching/learning area has four or more grounded wall outlets.	5	3
2.15	Well-maintained light sources provide adequate lighting.	10	6
2.16	The number and location of useable drinking fountains are adequate including provisions for the disabled.	5	3
2.17	Number of toilet rooms and fixtures meet or exceed code requirements.	10	6
2.18	Internal building water supply is adequate with sufficient pressure to meet health and safety needs.	10	8
2.19	Plumbing fixtures and piping are in good condition.	10	6
2.20	Fire alarms, smoke detectors, sprinkler systems stand pipes and hose cabinets are properly maintained and meet or exceed code requirements.	10	6
2.21	Intercommunication system includes a central unit that allows dependable two-way communication between the office and each room.	5	4
2.22	Kitchen exhaust hood is of adequate size, properly maintained, and has approved fire suppression system.	5	5
2.23	Cabling for computer and/or TV networking can be easily installed or modified.	10	8
	<u>TOTAL - STRUCTURAL & MECHANICAL FEATURES</u>	<u>200</u>	<u>120</u>

CEFPI Evaluation - Westwood View Elementary School

Date 12.1.2017

3.00 PLANT MAINTAINABILITY

100 POINTS

		Possible Points	Actual Points
	<u>MAINTENANCE</u>		
3.01	Windows, doors and walls are of material and finish requiring minimum maintenance.	10	3
3.02	Outdoor light fixtures, electric outlets, equipment and other fixtures are accessible for repair and replacement.	5	4
3.03	Classroom floor finishes require minimum of care.	10	5
3.04	Ceilings and walls are easily cleaned and resistant to stain.	10	7
3.05	HVAC equipment is designed and constructed for ease of operation and maintenance.	15	6
3.06	Floors in restrooms, kitchens, cafeterias and corridors require a minimum of maintenance.	10	5
3.07	Walls and ceilings in service areas can be easily cleaned.	10	7
3.08	Restroom fixtures are wall-mounted and of quality construction.	10	6
3.09	Adequate custodial storage space with water and drain is accessible to all areas.	10	5
3.10	Adequate electric outlets and power are available in every area to permit routine cleaning.	5	3
3.11	Operating door hardware is coordinated and in good condition.	5	3
	<u>TOTAL - PLANT MAINTAINABILITY</u>	<u>100</u>	<u>54</u>

CEFPI Evaluation - Westwood View Elementary School

Date 12.1.2017

4.00 SCHOOL BUILDING SAFETY

200 POINTS

		Possible Points	Actual Points
	<u>SITE SAFETY</u>		
4.01	Access streets have sidewalks and sufficient signals and signs to permit safe access to and from school site.	10	6
4.02	Site lighting is adequate for safety and security at night.	5	1
4.03	On-site walks and steps are in good condition and protected by proper signs and signals.	5	5
4.04	Vehicular entrances and exits are safe for traffic flow.	5	2
4.05	Student loading areas are segregated from other vehicular traffic and pedestrian walkways.	5	3
4.06	Locations of outdoor PE Areas are free from hazard.	10	8
4.07	Number and location of fire hydrants are adequate for the building.	10	8
	<u>BUILDING SAFETY</u>		
4.08	Heating units are separated from student-occupied areas in accordance with local building code.	15	12
4.09	Classroom doors are recessed and open outward.	5	5
4.10	Exterior doors open outward and are equipped with panic hardware.	10	10
4.11	Exits are marked with lighted exit signs on separate electrical circuits.	10	6
4.12	Glass is properly located and protected to prevent accidental student contact -- safety glass or wire glass per code requirements.	5	4
4.13	Emergency lighting is provided throughout building.	10	8
4.14	Flooring (including ramps) is maintained in a nonslip condition.	5	5
4.15	Stair risers do not exceed 72" and range in number from 3 - 16 per flight.	5	5
4.16	Multi-story buildings have at least two protected exit stairways.	15	15
4.17	Fixed projections in the traffic areas do not extend more than 8" from the corridor wall.	5	2
4.18	Traffic areas terminate at an exit or an exit stairway leading to an egress.	5	5
	<u>EMERGENCY SAFETY</u>		
4.19	Automatic and manual fire alarm system with a distinctive sound and flashing light is provided.	10	10
4.20	There are at least two independent exits to safety from any point in the building and no dead-end corridors over 20' in length.	15	15
4.21	Stairways and/or exits are of fire-resistant material.	10	9
4.22	Noncombustible and/or fire-resistant materials are used throughout the structure.	5	5
4.23	Adequate fire safety equipment is properly located.	10	8
4.24	Ample space is provided in traffic and protected areas for student safety in the event of natural disasters.	10	5
	<u>TOTAL - SCHOOL BUILDING SAFETY</u>	200	162

CEFPI Evaluation - Westwood View Elementary School

Date 12.1.2017

5.00 ENVIRONMENT FOR EDUCATION

200 POINTS

		Possible Points	Actual Points
	<u>ACADMEIC LEARNING AREAS</u>		
5.01	Size of academic learning areas meets minimum standards (K: 900/1050/1200 SF) (E=700/800/900 SF).	15	10
5.02	Learning areas are conveniently located near related educational activities.	5	3
5.03	Academic areas are situated away from noisy areas such as cafeterias and gyms.	5	3
5.04	Storage for student/teacher materials is adequate.	10	4
5.05	Design of learning areas is compatible with instructional need.	5	3
	<u>SPECIAL LEARNING AREAS</u>		
5.06	Size of special learning areas meet minimum standards.	5	3
5.07	Gymnasium or Multi-Purpose Room serves the school P.E. program.	10	9
5.08	Library/Resource/Media Center provides appropriate and attractive space.	10	5
5.09	The music program is provided separate adequate storage and sound treated instructional space.	5	3
5.10	Space appropriate for the nature of instruction and age of students.	5	3
5.11	Appropriate space is provided for small groups and/or individual instruction and special programs.	10	4
5.12	Storage for student materials in special learning areas is adequate.	5	4
5.13	Storage for teacher materials in special learning areas is adequate.	5	4
5.14	Design of learning areas is compatible with instructional need.	5	3
	<u>SUPPORT SPACE</u>		
5.15	Adequate facilities are available for student programs.	15	10
5.16	Administrative offices provide the administrative personnel with sufficient work space and privacy.	10	7
5.17	Suitable reception area for students, teachers and visitors is available.	5	3
5.18	Ample and conveniently located storage includes secure place for permanent records.	10	5
5.19	Cafeteria/cafetorium is attractive with sufficient space for dining, service delivery, storage and food preparation, with good circulation in patterns.	10	4
5.20	Clinic area is near administrative offices and is equipped to meet requirements.	10	9
5.21	Teachers' lounge/work area provides teachers a place for rest and preparation.	5	3
5.22	Indoor activity area available during inclement weather.	5	5
5.23	Site and building meets or exceeds all barrier-free requirements.	15	5
5.24	Teaching stations have adequate outlets for computers and/or television systems.	15	6
	<u>TOTAL - ENVIRONMENT FOR EDUCATION</u>	200	118

CEFPI Evaluation - Westwood View Elementary School

Date 12.1.2017

6.00 EDUCATIONAL ADEQUACY**200 POINTS****EXTERIOR ENVIRONMENT**

Possible	Actual
Points	Points

6.01 Overall building appearance is aesthetically pleasing and inviting to children.

15

10

6.02 Site and building are well landscaped.

5

3

6.03 Building materials provide attractive color and texture.

5

3

6.04 Entrances are appealing to students of the age and maturity of students served.

10

4

6.05 Entrances and walkways are sheltered from sun and inclement weather.

10

2

INTERIOR ENVIRONMENT**6.06** Interior stairways and ramps have handrails that meet code requirements.

5

5

6.07 Movement areas permit ease and control of traffic flow.

10

5

6.08 Areas for students to congregate are suitable to the age group.

10

5

6.09 Large group areas are designed for effective control of children.

10

8

6.10 A comfortable temperature can be maintained throughout the building in all seasons.

15

9

6.11 Ventilating system quietly provides adequate circulation of fresh air.

15

9

6.12 Fenestration contributes to a pleasant environment.

10

7

6.13 Lighting system provides proper intensity, diffusion and distribution of illumination.

15

12

6.14 Acoustical treatment of ceilings, walls and floors provides effective sound control.

10

6

6.15 Exterior noise is not a distraction in the classrooms.

10

7

6.16 Color schemes, building materials and decor enhances learning experience.

20

7

6.17 Adequate facilities are provided for student displays.

10

5

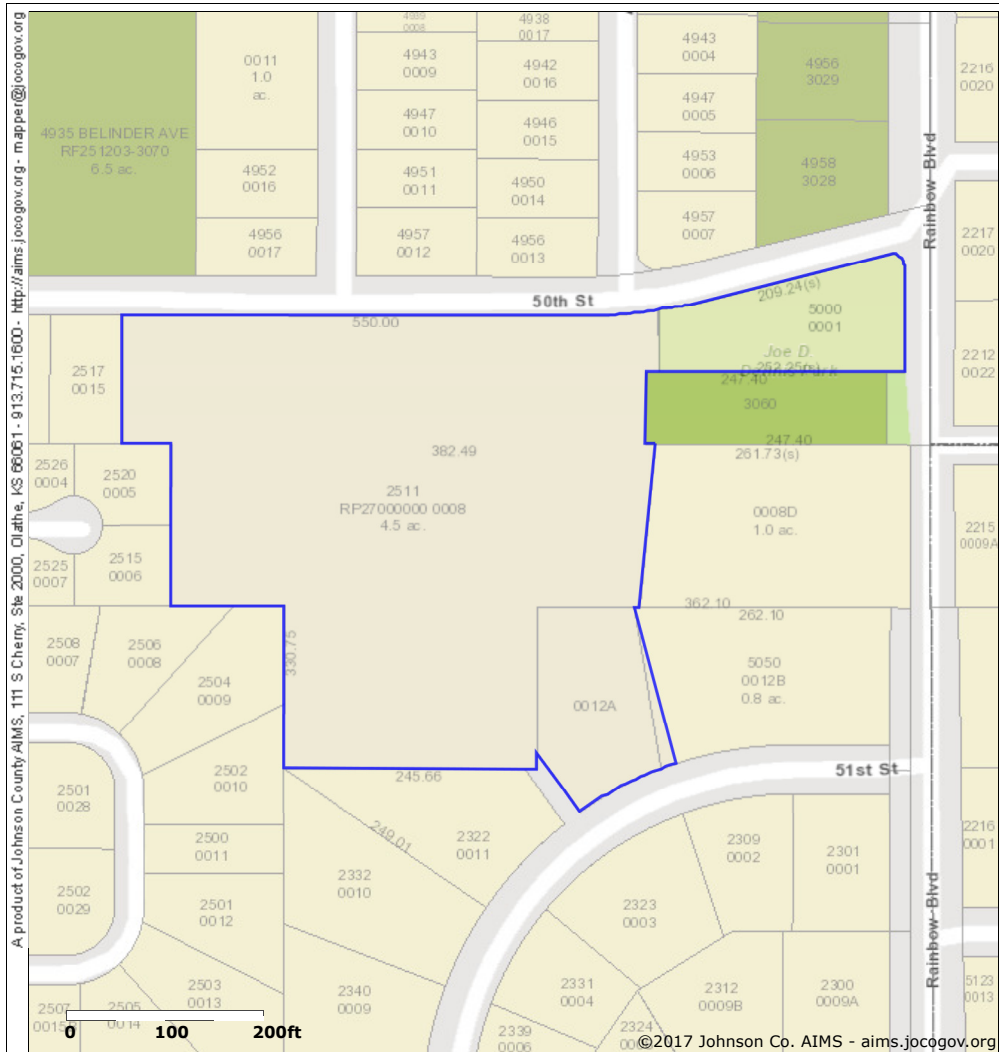
6.18 Drinking fountains and restroom facilities are conveniently located.

15

9

TOTAL - EDUCATIONAL ADEQUACY**200****116**





Johnson Co AIMS Map

WESTWOOD VIEW ELEMENTARY SCHOOL

LEGEND

Property_ComInt/VertLabels

- + Address Point
- Building/Structure

Property

- Untaxed
- Common Interest
- Vertical
- Platted
- Unplatted
- Right-of-way
- Mineral Rights
- Leased Land



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AIMS

12/3/2017

Property Information for RP27000000 0008

Tax Property ID	RP27000000 0008	KS Uniform Parcel #	0460620304001002000
Situs Address	2511 W 50TH ST	Acres	4.49 (195,636.44 ft ²)
Owner1 Name	UNIFIED SCHOOL DIST #512	Owner2 Name	
Owner Address	8200 W 71ST ST , OVERLAND PARK, KS 66204	Year Built	1968
Class	E	Neighborhood Code	401.X
LBCS	6121	Taxing Unit	0657UW
Zoning	R-1		

City	Westwood	Zip Code	66205
AIMS Map No.	F03 (T-R-S: 12-25-03)	Quarter Section	SE
Fire Dist.	Consolidated Dist. #2	Sheriff Dist.	0
Commissioner Dist.	1 (Ronald L. Shaffer)	FEMA Flood Panel #	20091C0010G

School District	Shawnee Mission	High School	SM East
Middle School	Indian Hills	Elementary School	Westwood View

Plat Name	HOLMESLAND	Quarter Section	NE
Book/Page	3 / 11	Number of Units	20
Date Recorded	1905		
Subdivision Name	WESTWOOD VIEW ELEM SCHOOL		

Legal Desc. (abbreviated) HOLMESLAND LT 8 EX E 23' S 1/2EX W 362.3' E 385.3' S 1/2 PLATTED & EX ELY TR BG NE CR W 271.28' SLY TO NE CR LT 12 KLASSEN PL E TO E/L N TO BG & ALL E 112.3' N 1/2 LT 9 & SWATZELL ADD LTS 4-14 BLK 1 WWC 194 BTAO 4137 0



Property Information for RF251203-3070

Tax Property ID	RF251203-3070	KS Uniform Parcel #	0460620301015011000
Situs Address	4935 BELINDER AVE	Acres	6.48 (282,483.59 ft ²)
Owner1 Name	SHAWNEE MISSION USD NO 512	Owner2 Name	
Owner Address	8200 W 71ST ST , OVERLAND PARK, KS 66201		
Class	C	Year Built	1932
LBCS	4236	Neighborhood Code	401.X
Zoning	R-1	Taxing Unit	0657UW

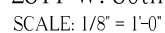
City	Westwood	Zip Code	66205
AIMS Map No.	F03 (T-R-S: 12-25-03)	Quarter Section	NE
Fire Dist.	Consolidated Dist. #2	Sheriff Dist.	0
Commissioner Dist.	1 (Ronald L. Shaffer)	FEMA Flood Panel #	20091C0010G

School District	Shawnee Mission	High School	SM East
Middle School	Indian Hills	Elementary School	Westwood View

Legal Desc. 3-12-25 BEG AT PT 172' N SW COR SE 1/4 NE 1/4 N 492.2' E 575' S 492.2' W 575' TO BEG 6.497 ACS
(abbreviated) M/L WWC-0039

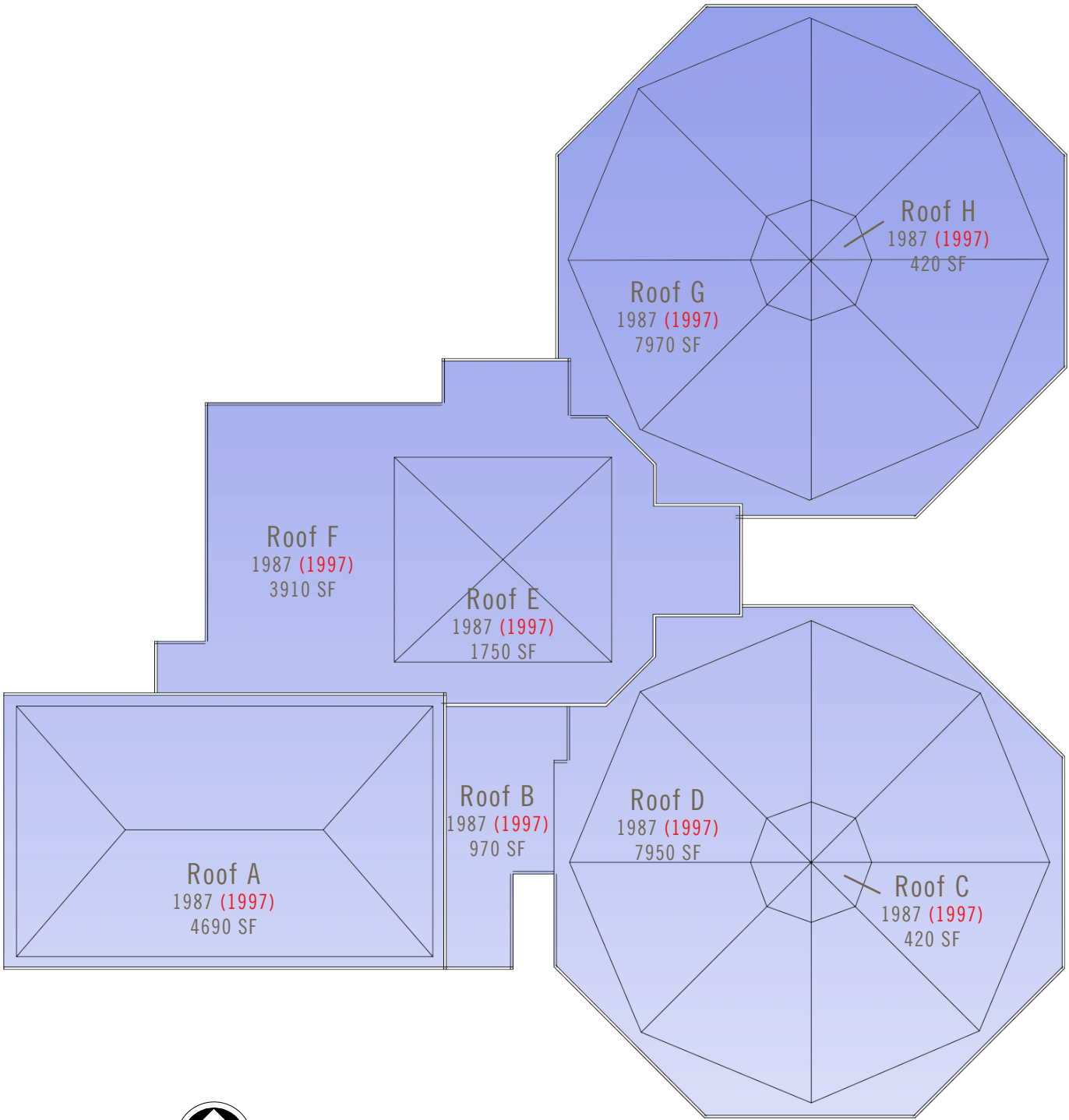
Property Map for RF251203-3070





Roof Areas

Roofs A,B,C,D,E,F,G,H
(Boone 9909-01263) / 290 SQ.
1999 (Missing) 2019

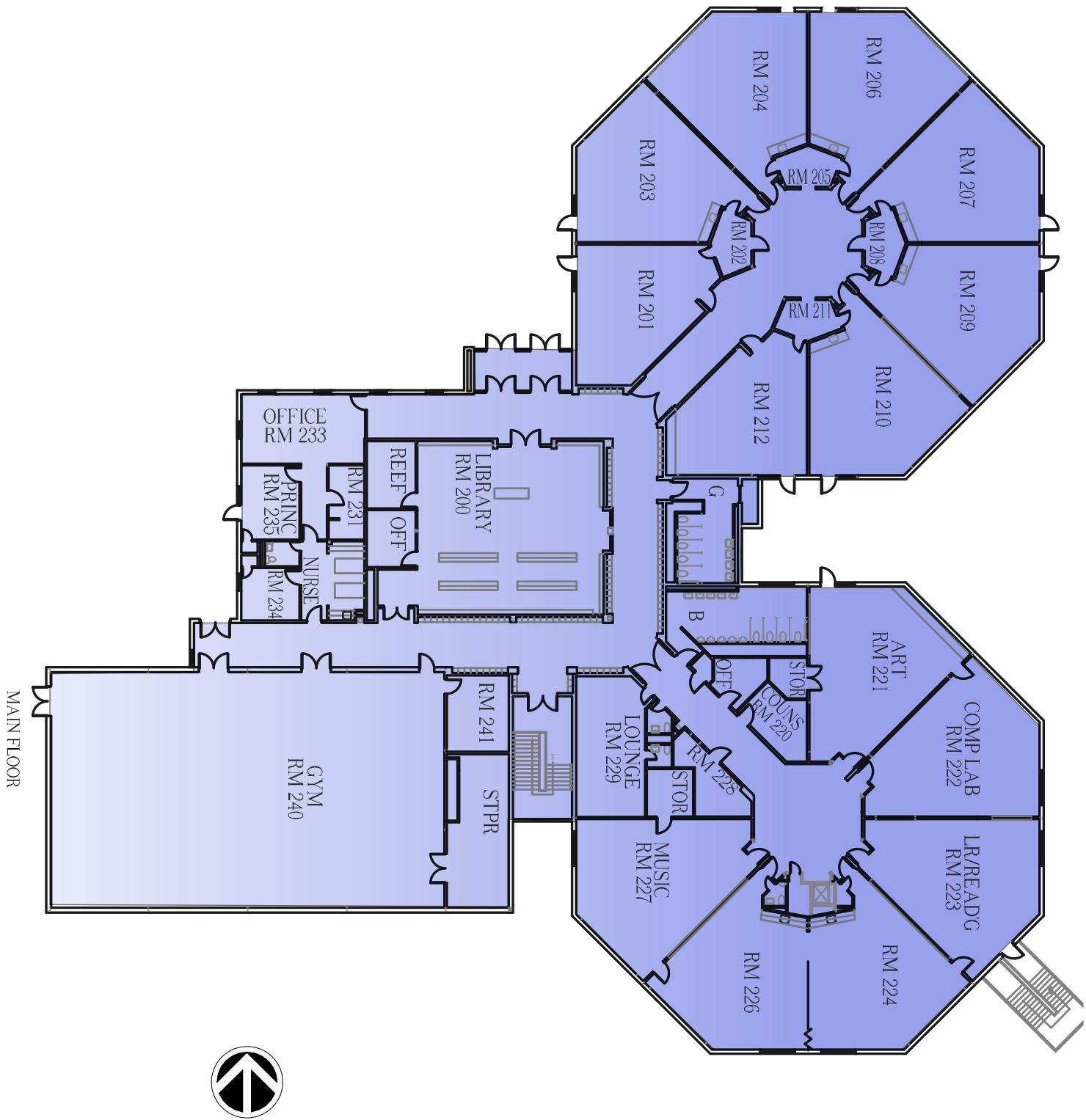


Roof Plan



Roof Areas

Roofs A,B,C,D,E,F,G,H
(Boone 9909-01263) / 290 SQ.
1999 (Missing) 2019



SHAWNEE MISSION SCHOOOL DISTRICT WESTWOOD VIEW ELEMENTARY SCHOOL BUILDING SUMMARY IMAGES

November 2017

Architectural Exterior Images



Facebrick and typical classroom exit



Typical exterior windows and doors

Architectural Interior Images



Typical classroom



Classroom storage



Corridor with VCT flooring



Classroom door recess



No egress at end of corridors



Typical restroom

MEP Images



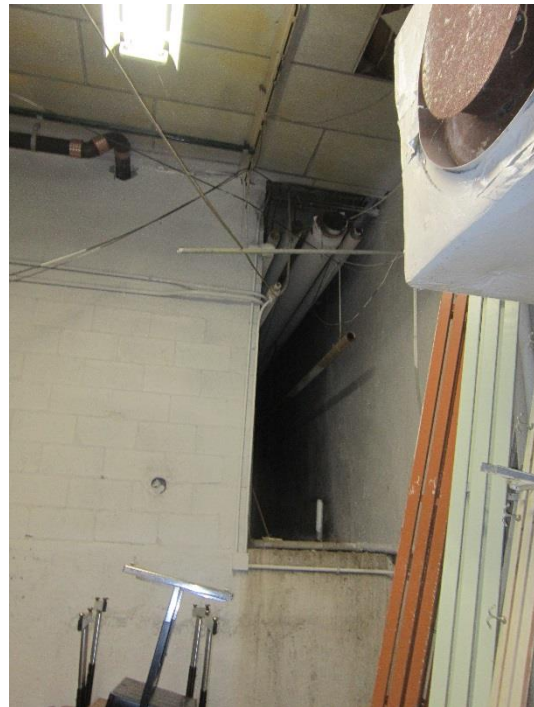
Additional exterior lighting recommended for security.



Dishwasher not vented.



Exterior lighting in need of update & additional fixtures.



Original boiler & chiller system no longer in use.



Hot water supply in classrooms has low pressure.



Classroom temperature & air flow issues.



Updated fire alarm system
Capable of expansion to mass notification.



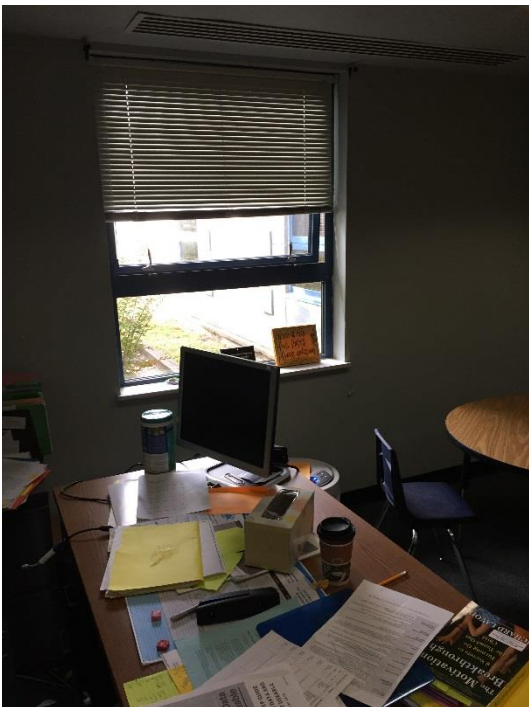
Supply diffuser rusting due to high humidity levels.



Damaged condenser coil fins.



Non-ADA water cooler.



Operable window left open.



Portable dehumidifier.

SHAWNEE MISSION SCHOOL DISTRICT

WESTWOOD VIEW ELEMENTARY SCHOOL

BUILDING SUMMARY REPORT

November 2017

Building Summary

Originally constructed in 1967, Westwood View Elementary School has experienced no additions and 2 major renovations for a total of 39,745 SF of type II-b construction.

Due to limited space available on site, if this building is chosen for replacement, the existing Westwood View Elementary will need to be razed prior to the construction of a new elementary on this site. Students will need to be relocated to another facility for approximately 18 months for construction.

SMUSD owns 4935 Belinder Avenue, a 6.48 acre site just to the northwest of the existing Westwood View Elementary School. This is the previous site of the Westwood One Radio Station. This site could be used to construct the new Westwood View Elementary School as a 2 or 3 section school and will allow access from Belinder Ave. to the west and W. 50th Street to the south for traffic flow. In this scenario, current students would be able to continue education in the existing school while a new school is being constructed.

Exterior Skin Summary

- Roof construction is low slope modified bitumen roofing and in fair condition. The roof system will have its warranty expire in 2019 and will need to be considered for replacement.
- Exterior walls are face brick and is in fair condition.
- Exterior windows are aluminum framed and have insulated glass.
- Exterior entry doors have aluminum frames and insulated glass and appropriate hardware.
- Classroom exterior doors are steel framed hollow metal doors and doors are used for building egress and are not equipped with the appropriate hardware.
- Several of the exterior doors are leaking and allowing water into their rooms.

Interior Summary

- Classrooms have a combination of VCT and carpet square floors, 2'x4' ceiling tiles and recessed lighting, and painted CMU and plaster walls.
- Wood doors have steel door frames and good hardware.

- Classroom doors open toward the corridor and are recessed to not encroach onto the corridor path of travel.
- Classrooms doors are used for building egress and swing the wrong way for code compliance.
- Classroom door recess does not meet ADA clearance for a pull side approach.
- Corridors have VCT floors and 2'x4' ceilings and recessed lighting and painted plaster, tile and CMU walls
- Restrooms have tile floors and tile walls, 2'x4' acoustical ceiling tiles, and wall mounted cove lighting.
- Gymnasium has wood flooring, CMU walls, 2'x4' ceiling tile with recessed lighting
- Cafeteria has VCT flooring, CMU walls, 2'x4' ceiling tile with recessed lighting
- No storm shelter was observed.

Educational Summary

Curriculum Delivery

- Classrooms are of small in size ranging from 650 sf – 790 sf for standard rooms and Kindergarten rooms. Rooms are part of octagonal pods and have odd angled walls within the rooms.
- Most classrooms are located on perimeter of the building allowing access to natural daylight.
- Teacher and student storage in many classrooms is in need of updating to be in line with district standards.

Scheduling

- Separate gymnasium and cafeteria spaces allow for better scheduling of classes and lunch shifts.

Future Ready Skills & Lifelong Learning

- The building is in need of large spaces with plumbing, storage and amenities for STEM and PLTW classes.

Technology

- Technology infrastructure is in place for the 1 to 1 initiative set forth by the district, but there is a lack of electrical outlets for charging of devices.

Site Summary

Address: 2511 W 50th St, Westwood, KS 66205

Zoning: R-1

Size: 4.5 Acres

Site Drainage

- Drainage appears to be good overall

Fire hydrants

- Adequate fire hydrant coverage
- Northwest corner of W. 50th Street and Booth Avenue.
- Northwest corner of W. 51th Street and Rainbow Boulevard.

- South side of W. 50th Street, about middle of the park.

Parking Lots, Pavement and Sidewalks.

- Separation for bus / parent drop off.
- Lack of parking. Teachers park in access drive / dock area.
- Told the existing foundation to former school is still in front of existing school causing the lawn to turn brown.
- Playground to west is not secure.
- Pavement and concrete in good shape.
- No concrete pavement in dock area for trucks and recycle bins.
- Railroad retaining wall on site.
- Handicap access difficult to all play areas.
- Public walking path cuts through school site.

Other item of note:

- Part of building and access drive on separate tract (21,044 S.F.).

MEP Summary

General

- Corridors appear to be a return air path for the Rooftop Units. Exit corridors are not allowed to be used as return air path per International Mechanical Code.
- The majority of the classrooms have operable windows. Operable windows make it difficult for the mechanical equipment to control humidity levels. With large amounts of untreated outside air, this may cause high humidity levels and can lead to moisture problems.
- First Floor classrooms have vaulted exposed structure. With no accessible ceiling installed, conduits and data cabling is installed visible.
- Observations regarding code deficiencies are in reference to the current 2012 IBC code series adopted by local jurisdictions. Should local jurisdictions adopt codes newer than the 2012 IBC, additional updates may be required to building systems. Items of note include:
 - 2015 IBC requires a full FEMA storm shelter which would require backup generator power, ventilation and restrooms.
 - 2015 IBC added requirements for carbon monoxide detection in select classrooms served by fuel fired equipment.
- Building is not equipped with fire sprinkler system.

Mechanical

System Descriptions

- Majority of the building is served from a 21 zone multi-zone air handler. Air handler does not seem to have been replaced. However, the condenser serving the air handler is about 15 years old.
- Both boilers appear to have been replaced in the last 12 years.
- Rooftop unit and VRF system was installed within the last 5 years serving the kitchen and cafeteria.

- Rooftop units serving the library and gym have been replaced within the last 2 years.
- The majority of the classrooms are being conditioned from unit ventilators fed from the 2-pipe system.
- Ductless split system serves data room with data rack.
- Return air path for multi-zone air handler is through the corridor for first floor. Ground floor had been updated to create a return air plenum above an accessible ceiling.
- Custodian closet on ground floor had strong chemical smell, additional exhaust ventilation may be beneficial.
- Range installed in break room did not have any means of ventilation or fire suppression.

Controls Systems

- A full BMS control system is currently installed to serve all HVAC equipment.

Additional Updates required to bring systems up to current codes:

- Add emergency boiler shutdown to existing boiler systems.
- Provide minimum ventilation per current codes to each classroom.
- Energy recovery will be required when minimum ventilation rates are brought up to code.
- Provide alternate path for return air on first floor, so the return air path is not through an exit corridor.

Additional Updates required to bring systems up to current SMSD Standards:

- HVAC equipment efficiencies shall be increased.
- Heating hot water loop shall be eliminated.
- Each classroom shall be provided with its own thermostat.

Plumbing Systems

- Hot Water
 - Domestic hot water system consists of multiple gas-fired water heaters in main mechanical room. Majority of water heaters are around 5 years old.
 - Domestic hot water supply appeared to be sufficient where installed. Classrooms did not have hot water installed to the classroom sinks.
- Water Supply
 - Water service has recently added a backflow preventer.
 - Water pressure appeared to be sufficient.
- Roof Drains
 - Roof drains have roof drain piping exterior to building, though routed to storm sewer below grade.
- Some restroom groups appeared to have been updated with new fixtures, wall and floor finishes and were in good condition.
- Nurse area did have accessible shower.
- Additional Updates required to bring systems up to current codes:
 - Several water coolers and plumbing fixtures are not ADA compliant and need to be

- replaced.
- All handwashing sinks will need to have thermostat mixing valves installed to limit maximum water hot water temperature to 110°F.
- Additional Updates required to bring systems up to current SMSD Standards:
 - Replace all faucets and flush valves with Toto sensor devices.
 - Hot water recirculation line shall tie into hot water line with-in 3 feet of every hand washing sink.
 - All classrooms shall be provided hot and cold water at classroom sinks.
 - Replace majority of water closets with new wall-mounted water closets.

Electrical Systems

- Lighting
 - Exterior illumination did not appear sufficient. There was no dedicated parking lot lighting. Wall mounted light fixtures were aged and lenses were significantly yellowed.
- Power
 - Electrical service was an overhead service. Bus duct service feeders extended through gym storage room on first floor to feed main service disconnect on ground level. Bus duct enclosure may not be finger safe and was not separated from storage space by other means.
 - Many electrical panelboards were located in storage closets between classrooms
 - Extension cords and power supplies were common in classrooms due to insufficient quantities and locations of electrical receptacles.
 - Original electrical panelboards and service appeared to have no space available to add more circuits. However, new equipment added for recent cafeteria and kitchen remodel did have significant spare space.
- Special Systems (Fire Alarm, Intercom, Data Systems)
 - Fire Alarm system had been updated. Significant adjustments would be required to add Mass Notification speakers to existing system. Smoke detection was evident throughout corridors.
 - Simplex Intercom system appeared functional and sufficient.
 - Data systems appeared functional and sufficient. However, locations for data racks were in difficult to access storage spaces accessible only through classroom spaces.
- Additional Updates required to bring systems up to current codes:
 - Electrical
 - All receptacles to be replaced with tamper resistant devices.
 - Additional Exterior lighting to ensure sufficient illumination.

- Revise incoming electrical service to enclose service feeders where bus duct is installed.
- Lighting – New lighting controls with occupancy sensors installed in entire building.
- Fire Alarm – Complete Replacement of all devices and control panels to support a mass notification system. Additional Smoke Detection may be required.
- Intercom system – None
- Data systems – None
- Additional Updates required to bring systems up to current SMSD Standards:
 - Electrical
 - Energy Metering added to all electrical equipment. May require replacement of main service panel.
 - Additional receptacles added throughout classrooms.
 - Lighting
 - New LED light fixtures installed in all areas, interior and exterior
 - Dimming Controls added in classrooms.
 - Fire Alarm – Complete Replacement of all devices and control panels to support a mass notification system. Additional Smoke Detection may be required.
 - Intercom system – New Valcom Intercom System
 - Data systems – Dedicated IT closets for Data Racks and data associated equipment.



SHAWNEE MISSION SCHOOL DISTRICT ELEMENTARY ASSESSMENTS
11/21/2017



WESTWOOD VIEW ELEMENTARY SCHOOL

Project Description		Square Feet	Cost/ SF	Hard Construction Cost	25% soft costs	Total Project Cost
WESTWOOD VIEW ELEMENATRY SCHOOOL - 39,745 SF						
	Parking Lot & Sidewalk Improvements			\$5,000	\$1,250	\$6,250
	Roof Improvements - Leak Repairs	29,000	\$19.00	\$551,000	\$137,750	\$688,750
	Lighting/Controls Refresh - LED	39,745	\$10	\$397,450	\$99,363	\$496,813
	Exterior door replacement			\$35,000	\$8,750	\$43,750
	Remodel Classroom Doors to meet ADA	1,100	\$75	\$82,500	\$20,625	\$103,125
	Additional outlets / devices / circuiting	39,745	\$1	\$39,745	\$9,936	\$49,681
	Add emergency boiler shutdown to existing boiler systems			\$12,000	\$3,000	\$15,000
	Update HVAC systems – potential VRF/DOAS replacement + New Controls	39,745	\$28	\$1,112,860	\$278,215	\$1,391,075
	Provide minimum ventilation per current codes to each classroom.	39,745	\$1	\$39,745	\$9,936	\$49,681
	Drinking Fountain replacement			\$35,000	\$8,750	\$43,750
	Handwash Sink Mixing Valves			\$15,000	\$3,750	\$18,750
	Hot water recirculation line	58,551	\$0.45	\$26,348	\$6,587	\$32,935
	Sinks in each classroom	58,551	\$4.00	\$234,204	\$58,551	\$292,755
	Flush Valves and Faucets			\$12,000	\$3,000	\$15,000
	Exterior Lighting Upgrade	58,551	\$0.35	\$20,493	\$5,123	\$25,616
	New Valcom Intercom System	58,551	\$0.35	\$20,493	\$5,123	\$25,616
	New fire alarm system	58,551	\$3	\$175,653	\$43,913	\$219,566
				\$2,814,491	\$649,463	\$3,247,315
						\$324,731
	INFLATION FROM 2018 TO 2020 = 10%					
						\$3,572,046
	WESTWOOD VIEW TOTAL					

Shawnee Mission School District

New 2 Section Elementary School

1-Dec-17

GOAL: **NEW ELEMENTARY SCHOOL**
Grades PreK thru 6
Planning Capacity: 400 Students
Estimated construction start 2020



	Phase One				Phase Two	
1.0 - Schematic Program						
1.0 - Administration/Counseling				3,000		0
2.0 - Academic Staff Areas				32,000		0
3.0 - Education Support Areas				12,000		0
4.0 - Food Service / Mechanical				6,600		0
5.0 - Support Areas				1,500		0
13.0-Net to Gross Multiplier				13,000		0
Total Square Footage				68,100		0
2.0 - Hard Cost Summary						
Building Construction Cost	68,100	\$264	\$17,978,400		0	\$0
Safe Room	5,800	\$125	\$725,000			
Site Development	68,100	\$29	\$1,974,900			\$0
Offsite Development		LS	\$175,000			\$0
Other (Playground)		LS	\$385,000			\$0
Hard Cost			\$21,238,300			\$0
3.0 - Soft Cost Summary						
Furniture + Fixtures	550	1600	\$880,000			\$0
District Equipment			\$75,000			\$0
Contingency			\$637,149			\$0
Professional Fees		0.0575%	\$1,257,838			\$0
Tech Infrastructure			\$204,300			\$0
Tech Systems-lump sum			\$204,300			\$0
Site Purchase-lump sum			\$0			\$0
Survey/Consult			\$522,300			\$0
Demolition	56000	5	\$280,000			\$0
Books			\$0			\$0
Printing-lump sum			\$7,500			\$0
Signage			\$60,000			\$0
Irrigation			\$20,000			\$0
Bonding Fee-1%			\$0			\$0
Total Soft Cost			\$4,148,387			\$0
4.0 - Project Total						
	Bid January 2020		\$25,386,687	Bid Feb 2015		\$0
	Square per Student		155	Square per Student		0
	Call it		\$25,400,000	Call it		\$0
			A1			A2

Survey/Consult	
State / County / City Permits and Fees	\$55,000
Kitchen	\$10,000
Commissioning	\$34,050
IT, Security, Audio Visual	\$85,125
Civil, Traffic, Detention, Staking, Survey	\$167,867
Landscape	\$25,000
GeoTech - Soil Testing: borings	\$24,686
Furniture	\$0
Construction Testing	\$95,572
Graphic Design	\$25,000
	\$522,300



Shawnee Mission School District

New 3 Section Elementary School

1-Dec-17

GOAL:

NEW ELEMENTARY SCHOOL

Grades PreK thru 6

Planning Capacity: 550 Students

Estimated construction start 2020



	Phase One				Phase Two	
1.0 - Schematic Program						
1.0 - Administration/Counseling				3,000		0
2.0 - Academic Staff Areas				38,400		0
3.0 - Education Support Areas				12,000		0
4.0 - Food Service / Mechanical				6,600		0
5.0 - Support Areas				1,500		0
13.0-Net to Gross Multiplier				13,000		0
Total Square Footage				74,500		0
2.0 - Hard Cost Summary						
Building Construction Cost	74,500	\$264	\$19,668,000		0	\$0
Safe Room	5,800	\$125	\$725,000			
Site Development	74,500	\$29	\$2,160,500			\$0
Offsite Development		LS	\$175,000			\$0
Other (Playground)		LS	\$385,000			\$0
Hard Cost			\$23,113,500			\$0
3.0 - Soft Cost Summary						
Furniture + Fixtures	550	1600	\$880,000			\$0
District Equipment			\$75,000			\$0
Contingency			\$693,405			\$0
Professional Fees		0.0575%	\$1,368,897			\$0
Tech Infrastructure			\$223,500			\$0
Tech Systems-lump sum			\$223,500			\$0
Site Purchase-lump sum			\$0			\$0
Survey/Consult			\$560,035			\$0
Demolition	56000	5	\$280,000			\$0
Books			\$0			\$0
Printing-lump sum			\$7,500			\$0
Signage			\$60,000			\$0
Irrigation			\$20,000			\$0
Bonding Fee-1%			\$0			\$0
Total Soft Cost			\$4,391,837			\$0
4.0 - Project Total						
	Bid January 2020		\$27,505,337	Bid Feb 2015		\$0
	Square per Student		135	Square per Student		0
	Call it		\$27,500,000	Call it		\$0
			A1			A2

Survey/Consult	
State / County / City Permits and Fees	\$55,000
Kitchen	\$10,000
Commissioning	\$37,250
IT, Security, Audio Visual	\$93,125
Civil, Traffic, Detention, Staking, Survey	\$183,643
Landscape	\$25,000
GeoTech - Soil Testing: borings	\$27,006
Furniture	\$0
Construction Testing	\$104,011
Graphic Design	\$25,000
	\$560,035

