

2017 ROOF IMPROVEMENTS  
Shawnee Mission School District  
7235 Antioch Road,  
Mission, KS 66204  
BIDDING DOCUMENTS

VICINITY MAPS



**ROSEHILL  
ELEMENTARY SCHOOL**  
  
9801 Rosehill Road  
Lenexa, KS  
66215




**TOMAHAWK  
ELEMENTARY SCHOOL**  
  
6301 West 78th Street  
Overland Park, KS  
66204

STATEMENT OF RESPONSIBILITY

I HEREBY STATE THAT THE DRAWINGS INTENDED TO BE AUTHENTICATED BY MY SEAL ARE LIMITED TO THE FOLLOWING DRAWING SHEETS:

6000, A101, & A102

I HEREBY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER DRAWINGS, ESTIMATES, REPORTS AND OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE ARCHITECTURAL OR ENGINEERING PROJECT OR SURVEY.



ARCHITECT \_\_\_\_\_ DATE \_\_\_\_\_

INDEX OF DRAWINGS

**GENERAL:**  
6000 COVER SHEET

**ARCHITECTURE:**  
A101 ROSEHILL ELEMENTARY SCHOOL  
A102 TOMAHAWK ELEMENTARY SCHOOL

ALTERNATES

**BID ALTERNATE #1**  
REMOVE AND REPLACE ALL ROOF DRAINS.  
BASE BID: EXISTING ROOF DRAINS TO REMAIN.

**BID ALTERNATE #2**  
REMOVE AND REPLACE ALL SKYLIGHTS.  
BASE BID: EXISTING SKYLIGHTS TO REMAIN. REMOVE AND REINSTALL AS REQUIRED FOR NEW ROOFING. PROVIDE NEW GASKET KITS AND SKIRT FLASHING AT EACH. FIELD VERIFY QUANTITY, SIZE AND LOCATIONS.

DESIGN TEAM

**ARCHITECTURAL DESIGN:**  
HOLLIS + MILLER ARCHITECTS  
1828 WALNUT STREET, SUITE 922  
KANSAS CITY, MO 64108  
CONTACT: JUSTIN DURHAM  
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SMSD Bid #17-011

2017 Roof Improvements  
Shawnee Mission School District

7235 Antioch Road Shawnee • Mission, KS 66204  
PH# (913) 993-6200 • Fax (913) 993-6230

Project Status

REVISIONS:

#	Description	Date
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JOB NO: 16080  
DRAWN BY: JOSEPH BOTTICELLA  
CHECKED BY: JUSTIN DURHAM  
DATE: 02/10/2017

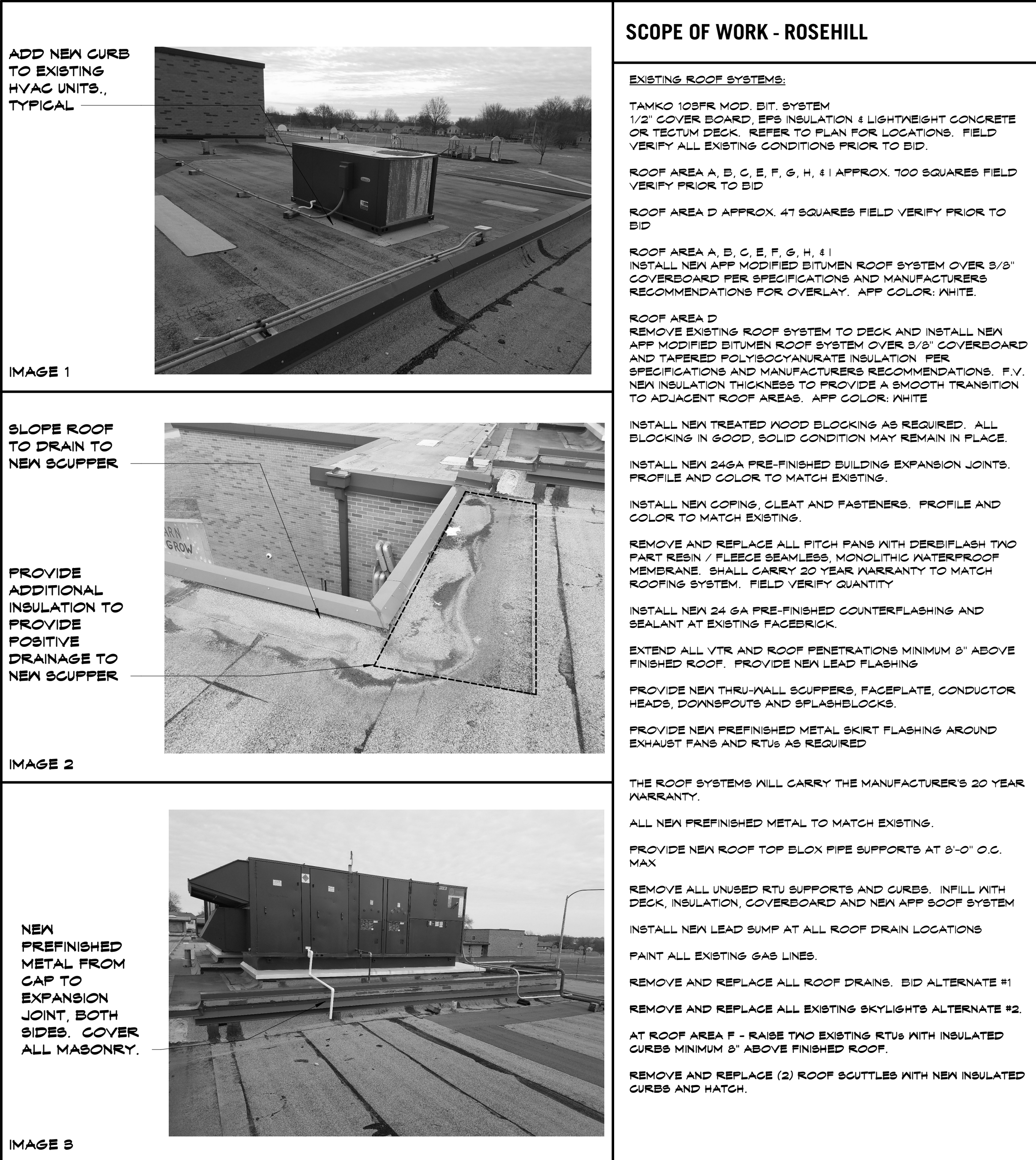
GOOO

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Hollis + Miller Architects  
Kansas State Certificate of Authority  
Architecture # A-109  
Structural # S-134

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## ROOF HATCH LEGEND

	HVAC / ROOFTOP EQUIPMENT
	EXISTING AREA TO BE WORKED ON
	EXISTING AREA TO REMAIN AS IS
	EXISTING WALKPADS

## Rosehill Elementary School



2/13/2017 8:31:11 AM

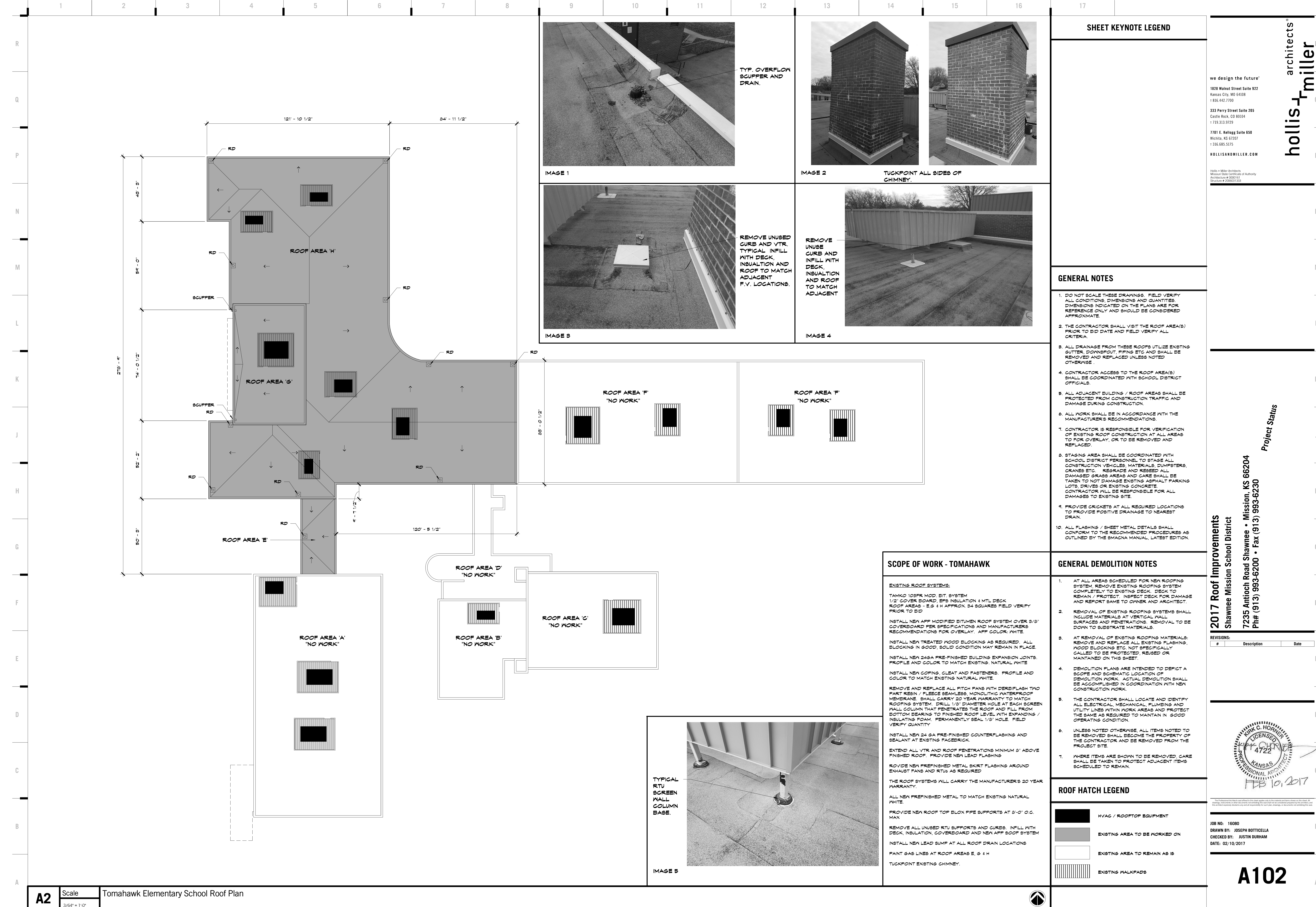


IMAGE 1



IMAGE 2



IMAGE 3



IMAGE 4

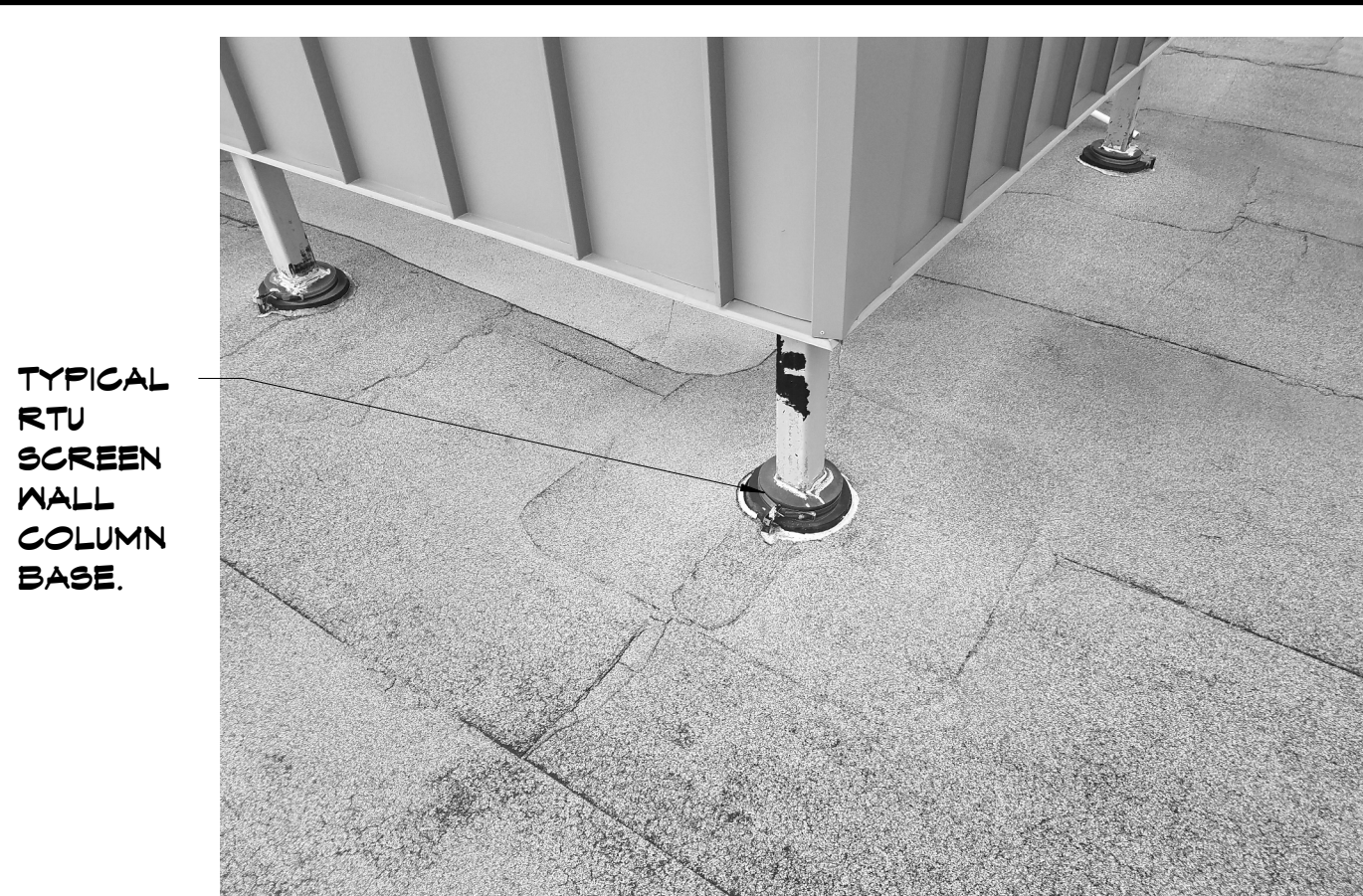


IMAGE 5

### SHEET KEYNOTE LEGEND

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### GENERAL NOTES

1. DO NOT SCALE THESE DRAWINGS. FIELD VERIFY ALL CONDITIONS, DIMENSIONS AND QUANTITIES. DIMENSIONS INDICATED ON THE PLANS ARE FOR REFERENCE ONLY AND SHOULD BE CONSIDERED APPROXIMATE.
2. THE CONTRACTOR SHALL VISIT THE ROOF AREA(S) PRIOR TO BID DATE AND FIELD VERIFY ALL CRITERIA.
3. ALL DRAINAGE FROM THESE ROOFS UTILIZE EXISTING GUTTER, DOWNSPOUT, PIPING ETC AND SHALL BE REMOVED AND REPLACED UNLESS NOTED OTHERWISE.
4. CONTRACTOR ACCESS TO THE ROOF AREA(S) SHALL BE COORDINATED WITH SCHOOL DISTRICT OFFICIALS.
5. ALL ADJACENT BUILDING / ROOF AREAS SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC AND DAMAGE DURING CONSTRUCTION.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
7. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING ROOF CONSTRUCTION AT ALL AREAS TO FOR OVERLAY, OR TO BE REMOVED AND REPLACED.
8. STAGING AREA SHALL BE COORDINATED WITH SCHOOL DISTRICT PERSONNEL TO STAGE ALL CONSTRUCTION VEHICLES, MATERIALS, DUMPSTERS, CRANES ETC. REGRADE AND RESEED ALL DAMAGED GRASS AREAS AND CARE SHALL BE TAKEN TO NOT DAMAGE EXISTING ASPHALT PARKING LOTS, DRIVES OR EXISTING CONCRETE. CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING SITE.
9. PROVIDE CRICKETS AT ALL REQUIRED LOCATIONS TO PROVIDE POSITIVE DRAINAGE TO NEAREST DRAIN.
10. ALL FLASHING / SHEET METAL DETAILS SHALL CONFORM TO THE RECOMMENDED PROCEDURES AS OUTLINED BY THE SMACNA MANUAL, LATEST EDITION.

### SCOPE OF WORK - TOMAHAWK

**EXISTING ROOF SYSTEMS:**  
TAMKO 105PR MOD. BIT. SYSTEM  
1/2" COVER BOARD, EPS INSULATION & VTL DECK  
ROOF AREAS - E, G & H APPROX. 24 SQUARES FIELD VERIFY PRIOR TO BID

INSTALL NEW AFF MODIFIED BITUMEN ROOF SYSTEM OVER 3/8" COVERBOARD PER SPECIFICATIONS AND MANUFACTURERS RECOMMENDATIONS FOR OVERLAY. AFF COLOR: WHITE

INSTALL NEW TREATED WOOD BLOCKING AS REQUIRED. ALL BLOCKING IN GOOD, SOLID CONDITION MAY REMAIN IN PLACE.

INSTALL NEW 24GA PRE-FINISHED BUILDING EXPANSION JOINTS. PROFILE AND COLOR TO MATCH EXISTING. NATURAL WHITE

INSTALL NEW COPING. CUREAT AND FASTENERS. PROFILE AND COLOR TO MATCH EXISTING NATURAL WHITE.

REMOVE AND REPLACE ALL FITCH FANS WITH DEREFLASH TWO PART RESIN / FLEECE SEAMLESS, MONOLITHIC WATERPROOF MEMBRANE. SHALL CARRY 20 YEAR WARRANTY TO MATCH ROOFING SYSTEM. DRILL 1/8" DIAMETER HOLE AT EACH SCREEN WALL COLUMN THAT PENETRATES THE ROOF AND FILL FROM BOTTOM BEARING TO FINISHED ROOF LEVEL WITH EXPANDING / INSULATING FOAM. PERMANENTLY SEAL 1/8" HOLE. FIELD VERIFY QUANTITY

INSTALL NEW 24 GA PRE-FINISHED COUNTERFLASHING AND SEALANT AT EXISTING FACEBRICK.

EXTEND ALL VTR AND ROOF PENETRATIONS MINIMUM 8" ABOVE FINISHED ROOF. PROVIDE NEW LEAD FLASHING

REMOVE NEW PREFINISHED METAL SKIRT FLASHING AROUND EXHAUST FANS AND RTUs AS REQUIRED

THE ROOF SYSTEMS WILL CARRY THE MANUFACTURER'S 20 YEAR WARRANTY.

ALL NEW PREFINISHED METAL TO MATCH EXISTING NATURAL WHITE

PROVIDE NEW ROOF TOP BLOC PIPE SUPPORTS AT 8'-0" O.C. MAX

REMOVE ALL UNUSED RTU SUPPORTS AND CURBS. INFILL WITH DECK, INSULATION, COVERBOARD AND NEW AFF SOOF SYSTEM

INSTALL NEW LEAD SUMP AT ALL ROOF DRAIN LOCATIONS

PAINT GAS LINES AT ROOF AREAS E, G & H

TUCKPOINT EXISTING CHIMNEY.

### GENERAL DEMOLITION NOTES

1. AT ALL AREAS SCHEDULED FOR NEW ROOFING SYSTEM, REMOVE EXISTING ROOFING SYSTEM COMPLETELY TO EXISTING DECK. DECK TO REMAIN / PROTECT. INSPECT DECK FOR DAMAGE AND REPORT SAME TO OWNER AND ARCHITECT.
2. REMOVAL OF EXISTING ROOFING SYSTEMS SHALL INCLUDE MATERIALS AT VERTICAL WALL SURFACES AND PENETRATIONS. REMOVAL TO BE DOWN TO SUBSTRATE MATERIALS.
3. AT REMOVAL OF EXISTING ROOFING MATERIALS, REMOVE AND REPLACE ALL EXISTING FLASHING, WOOD BLOCKING ETC. NOT SPECIFICALLY CALLED TO BE PROTECTED, REUSED OR MAINTAINED ON THIS SHEET.
4. DEMOLITION PLANS ARE INTENDED TO DEPICT A SCOPE AND SCHEMATIC LOCATION OF DEMOLITION WORK. ACTUAL DEMOLITION SHALL BE ACCOMPLISHED IN COORDINATION WITH NEW CONSTRUCTION WORK.
5. THE CONTRACTOR SHALL LOCATE AND IDENTIFY ALL ELECTRICAL, MECHANICAL, PLUMBING AND UTILITY LINES WITHIN WORK AREAS AND PROTECT THE SAME AS REQUIRED TO MAINTAIN IN GOOD OPERATING CONDITION.
6. UNLESS NOTED OTHERWISE, ALL ITEMS NOTED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE REMOVED FROM THE PROJECT SITE.
7. WHERE ITEMS ARE SHOWN TO BE REMOVED, CARE SHALL BE TAKEN TO PROTECT ADJACENT ITEMS SCHEDULED TO REMAIN.

### ROOF HATCH LEGEND

- HYAC / ROOFTOP EQUIPMENT
- EXISTING AREA TO BE WORKED ON
- EXISTING AREA TO REMAIN AS IS
- EXISTING WALKPADS

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A102

Tomahawk Elementary School

Please consider the environment before printing this.